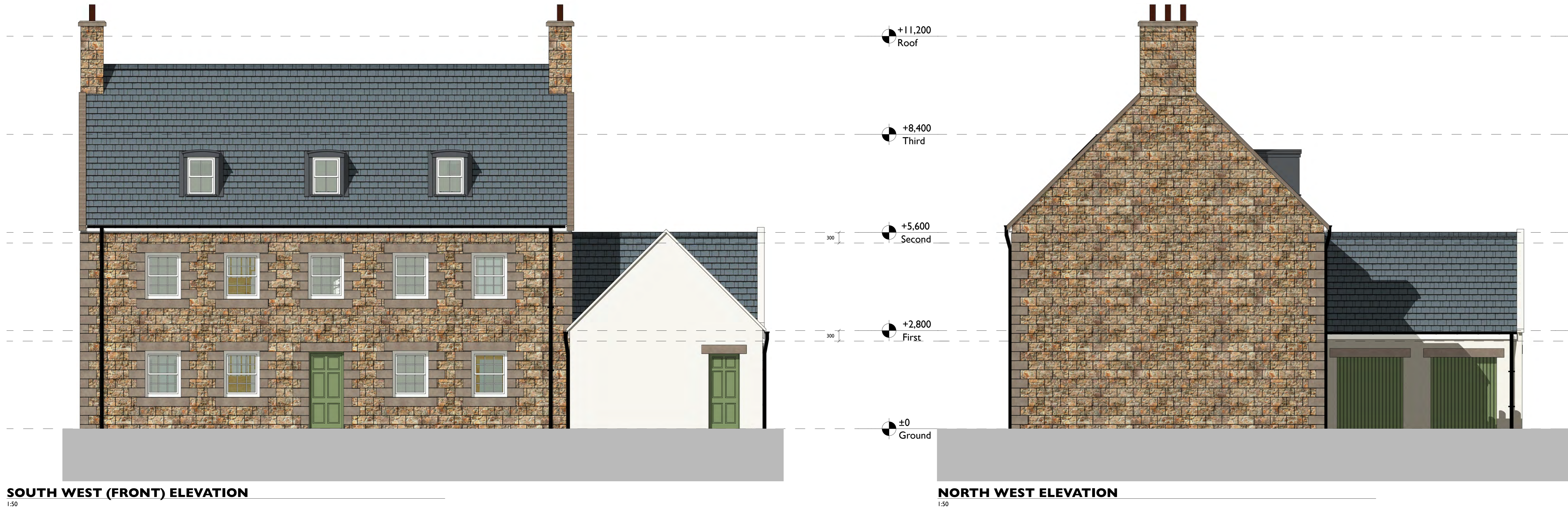


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 This drawing must be read in conjunction with all other drawings, details and specifications issued by the Architect, Structural Engineer and other Consultants or approved specialists. Discrepancies between any other drawings, details and/or specifications must be referred to the Architect for verification at least 7 days prior to commencement of the work. It is the Contractor's responsibility to ensure all work is carried out in accordance with all statutory requirements and to the approval of the Building Control Officer. All roof and structural timbers are to be vacuum preservative treated by approved methods before delivery to site. All roof decking or external plywood to be W.B.P. bonded external grade. All materials to comply with the latest British Standards Specification or have an Agrément Certificate. The Contractor is responsible for all setting out of the works. Use written dimensions only, do not scale off drawings. All dimensions and setting out must be checked on site.

REVISIONS

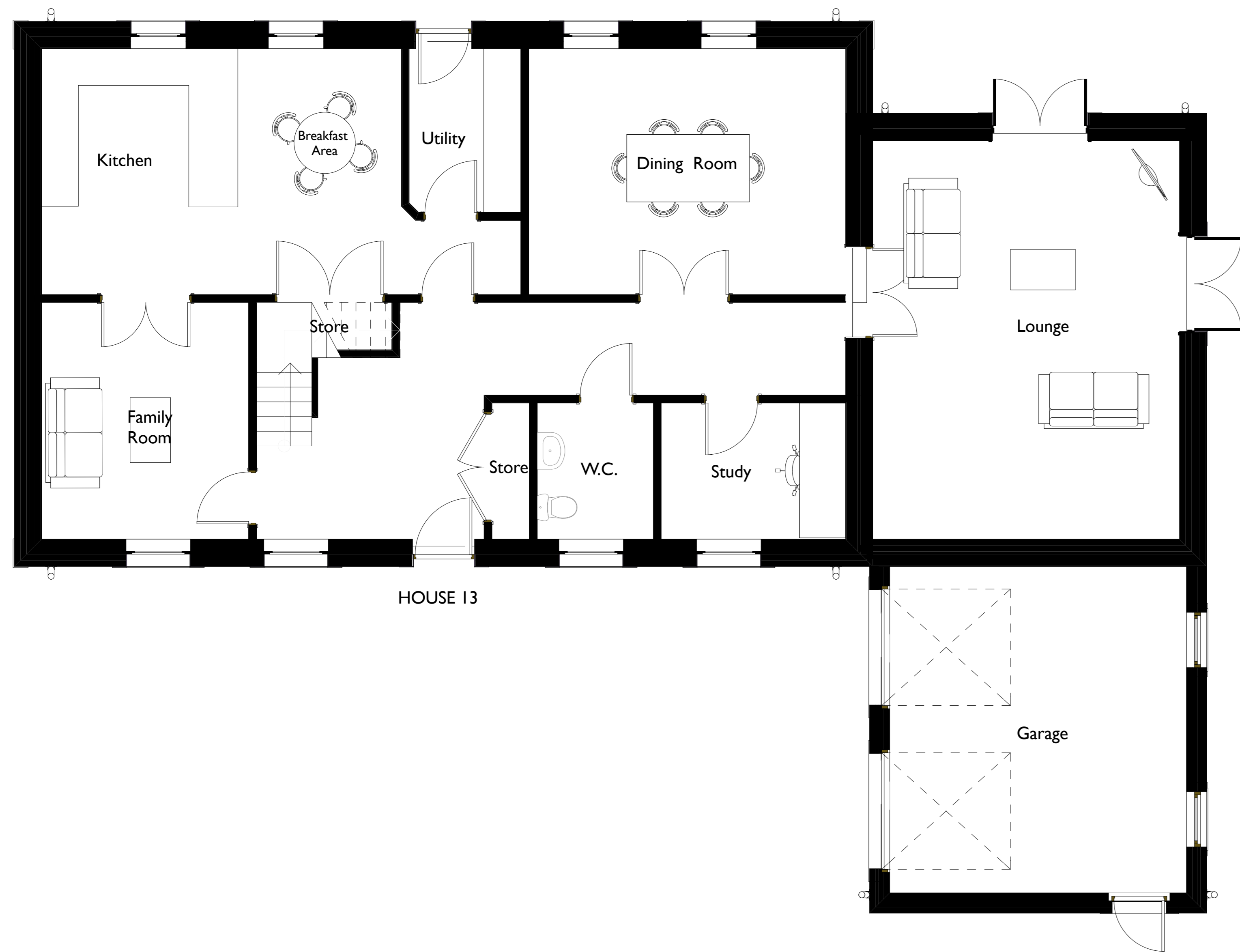
A	June 2010	Scheme revised as directed by Planning Department & to Planning requirements	PAP
B	July 2010	House elevations revised to Planning requirements	SB
C	Sept 2010	Revisions to further Planning requirements: a) Ridge tiles changed from terracotta to slate b) Roof windows reduced in size c) Dormers- reduced width and cheeks d) SW (front) windows resized e) SE elevation upper gable window and timber cladding band removed, height of gable reduced to level ridge with garage, lounge patio doors & sidelights replaced with double patio doors	PM
D	Sept 2010	Revision to further Planning requirements: A.) Small gable over lounge doors removed and roof re-positioned.	PAP



SOUTH WEST (FRONT) ELEVATION
1:50

NORTH WEST ELEVATION
1:50

MATERIAL	IMAGE
TRADITIONAL BLUE/GREY SLATE (ROOF & RIDGE TILES)	
TRADITIONAL JERSEY GRANITE ASHLAR (EXTERIOR WALLS)	
PAINTED MORTAR - 'HONEY BEIGE' (JERSEY VERGES)	
RENDER - 'HONEY BEIGE' (EXTERIOR WALLS)	
CLUT & DRESSED JERSEY GRANITE (QUOINS, GILLS, LINTELS AND VERGES)	
GLAZING	N/A
LEAD CLADDING (DORMERS)	
CAST IRON (GUTTERS & DOWNPIPES)	
PAINTED PRESERVATIVE TREATED SOFT WOOD - WHITE (FASCIAS & WINDOWS)	
PAINTED PRESERVATIVE TREATED SOFT WOOD - DARK OLIVE (ENTRANCE DOORS)	
TERRACOTTA TILE (RIDGE TILES)	N/A



GROUND FLOOR PLAN
1:50

PLANNING APPLICATION

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PROJECT / LOCATION		DRAWING	
PLEMONT BAY HOLIDAY VILLAGE PLEMONT 28 HOUSES DEVELOPMENT		HOUSE 13 GROUND FLOOR PLAN	
CLIENT	DRAWN	CHECKED	
PLEMONT ESTATES LTD	PAP	PH	
DATE	SCALE	DRAWING NUMBER	
JUNE 2010	1:50 @ A0	1871/G/01	D