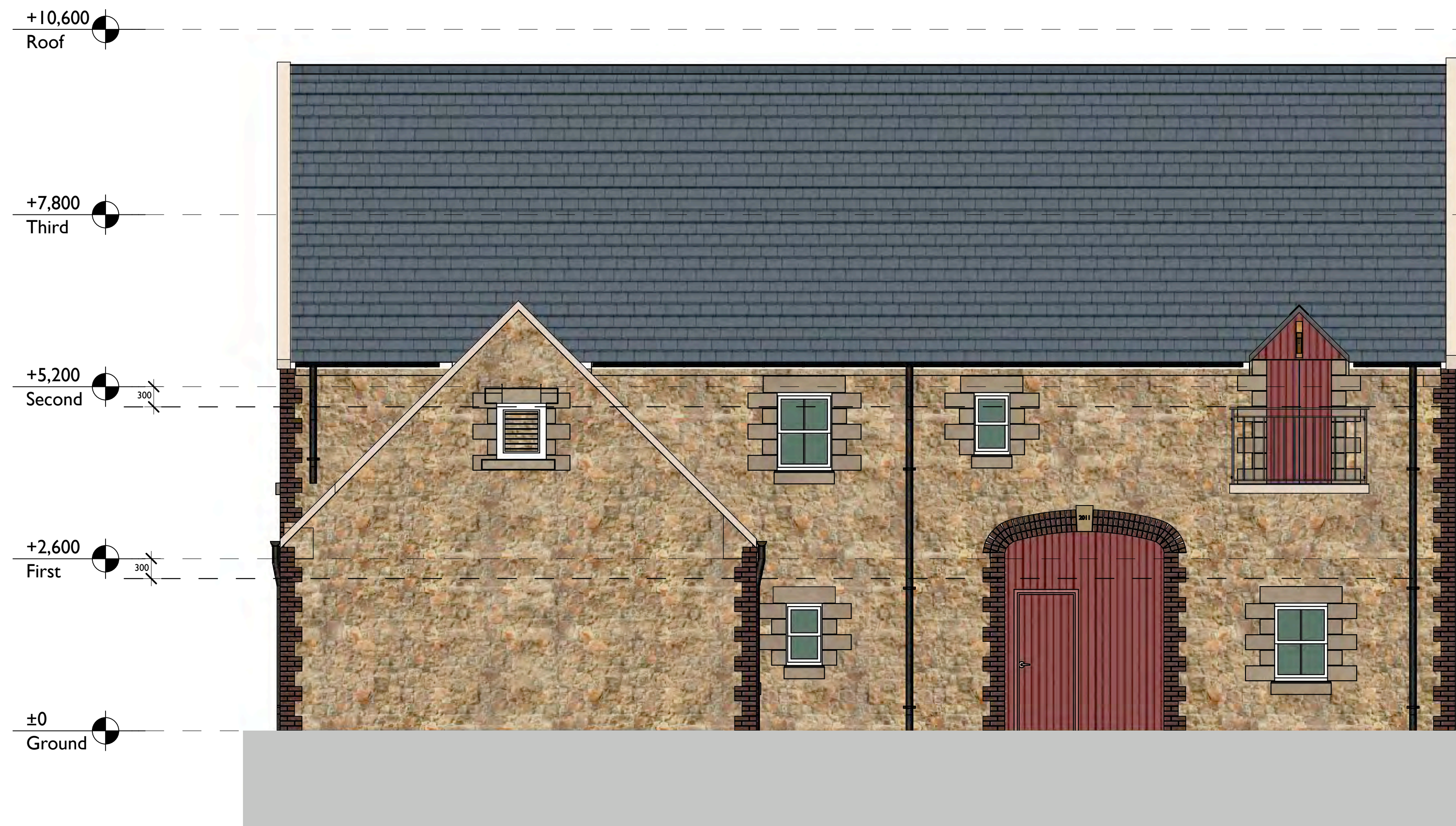


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 This drawing must be read in conjunction with all other drawings, details and specifications issued by the Architect, Structural Engineer and other Consultants or approved specialists. Discrepancies between any other drawings, details and/or specifications must be referred to the Architect for verification at least 7 days prior to commencement of the work. It is the Contractor's responsibility to ensure all work is carried out in accordance with all statutory requirements and to the approval of the Building Control Officer. All roof and structural timbers are to be vacuum preservative treated by approved methods before delivery to site. All roof decking or external plywood to be W.B.P. bonded external grade. All materials to comply with the latest British Standards Specification or have an Agrément Certificate. The Contractor is responsible for all setting out of the works. Use written dimensions only, do not scale off drawings. All dimensions and setting out must be checked on site.  
 If in any doubt refer to the Architect prior to commencement of the work.

**REVISIONS**

A	June 2010	Scheme revised as directed by Planning Department & to Planning requirements	PAP EN
B	July 2010	House elevations revised to Planning requirements	
C	Sept 2010	Revisions to further Planning requirements a) SW elevation high level small bespoke window inserted b) Additional down pipe added to SW elevation between wc window and front door c) Glazing bars generally removed to emphasise vertical sash proportions d) Small conservation roof lights added to 2nd floor ensuite e) Terracotta ridge tile changed to slate	JDH



**SOUTH WEST (FRONT) ELEVATION**

1:50



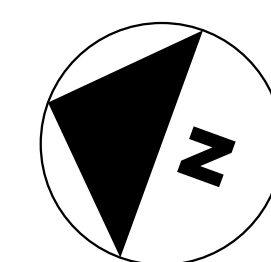
**NORTH WEST ELEVATION**

1:50



**GROUND FLOOR PLAN**

1:50



MATERIAL	IMAGE
TRADITIONAL BLUE/ GREY SLATE (ROOF)	
RANDOM LAID, TRADITIONAL JERSEY GRANITE (EXTERIOR WALLS)	
RED BRICKWORK (QUOINS, ARCHES)	
CUT & DRESSED JERSEY GRANITE (QUOINS, CILLS & LINTELS)	
GLAZING	N/A
LEAD CLADDING (DORMERS)	
CAST IRON (GUTTERS & DOWNPIPES, BALCONY RAILINGS)	
PAINTED STONE (BALCONY CILLS)	
PAINTED PRESERVATIVE TREATED SOFT WOOD - WHITE (FASCIAS & WINDOWS)	
PAINTED PRESERVATIVE TREATED SOFT WOOD - 'MISTY RED' (ENTRANCE DOORS)	
RENDER - 'HONEY BEIGE' (VERGES)	

**PLANNING APPLICATION**

**B D K Architects**  
 White Lodge,  
 Wellington Road,  
 St. Saviour,  
 JERSEY  
 Channel Islands  
 JE2 7TE  
 Tel: +44 1534 768740  
 Fax: +44 1534 739115  
 E: Enquiry@BDKArchitects.com



<b>PROJECT / LOCATION</b>		<b>DRAWING</b>	
PLEMONT BAY HOLIDAY VILLAGE PLEMONT 28 HOUSE DEVELOPMENT		HOUSE 15 GROUND FLOOR PLAN	
<b>CLIENT</b>	<b>DRAWN</b>	<b>CHECKED</b>	
PLEMONT ESTATES LTD.	EN	PH	
<b>DATE</b>	<b>SCALE</b>	<b>DRAWING NUMBER</b>	
JUNE 2010	1:50 @ A0	1871/1/01	
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