





FIRST FLOOR PLAN

REVISIONS

B July 2010 C Sept 2010

Scheme revised as directed by Planning Department & to Planning requirements	SE
Scheme revised as directed by Planning Department	PI
Revisions to further Planning requirements (a) Arch to W. eleva	tior
garage door opening mades flatter + subservient to principle ar	ch
(b) N. gable 2 no. small sash windows inserted ground floor level	el
and small bespoke window at high level (c) lintols made deeper	
throughout (d) kitchen and bedroom windows aligned on W.	
elevation lhs main door.	ACF

MATERIAL	IMAGE
TRADITIONAL BLUE/GREY SLATE (ROOF & RIDGETILES)	
RANDOM LAID, TRADITIONAL JERSEY GRANITE (EXTERIOR WALLS)	
PAINTED MORTAR - 'HONEY BEIGE' (JERSEYVERGES)	
GLAZING	N/A
CUT & DRESSED JERSEY GRANITE (LINTELS)	
RED BRICKWORK (QUOINS, OPENING DRESSINGS)	
CAST IRON (GUTTERS & DOWNPIPES)	
PAINTED PRESERVATIVE TREATED SOFT WOOD - WHITE (FASCIAS & WINDOWS)	
PAINTED PRESERVATIVE TREATED SOFT WOOD - 'MISTY RED' (ENTRANCE DOORS)	
TREATED TIMBER (BEAM)	





ROJECT / LOCATION	DRAWING			
LEMONT BAY HOLIDAY VILLAGE 8 HOUSE DEVELOPMENT		HOUSE NO'S 3 & 4 FIRST FLOOR PLAN		
LIENT		DRAWN	CHECKED	
LEMONT ESTATES LTD		SB	PH	
ATE	SCALE	DRAWING NUMBER		
JNE 2010	I:50 @ A0	1871/B/02		С

