

## Information Required for a Planning Application



## Basic requirements of any planning application

There's a minimum level of information which must be submitted for each application so that everyone can understand your proposal. Such information must also be accurate and detailed sufficiently so that no assumptions are made about the proposal. Therefore, we can't process any submissions that don't have this basic level of information.

Every application must include

- The correct application form completed, signed and dated
- Accurate location plans taken from the Jersey Digital Map at a scale of 1:2500 as a separate drawing
- Photographs of the existing building and site
- Sufficient and accurate plans, photos, drawings and information to enable the application to be easily understood and determined. This will usually include a site plan, floor plans, elevations and photographs.

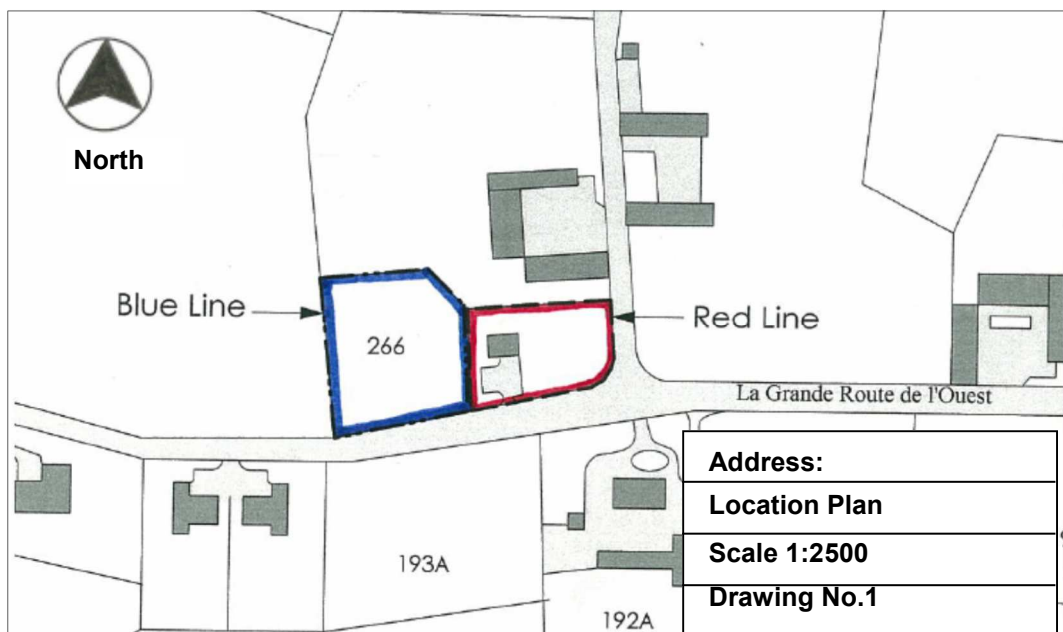
Everything submitted in connection with a planning application will be published to the planning register so that the proposal can be viewed online.

## Location plan

The location plan must be an extract from the current Jersey Digital Map, at a scale of 1:2500. This is available from the States of Jersey or Digimap. If you hold a Jersey Digital Map licence the licence number must be included on the plan.

The location plan must be on a separate drawing and the site should be towards the centre of the plan. In all cases the application site must be accurately outlined in red because the outlined site has specific legal implications. A cross or a rough circle around the site won't be accepted. Any adjoining land in the same ownership should be outlined in blue.

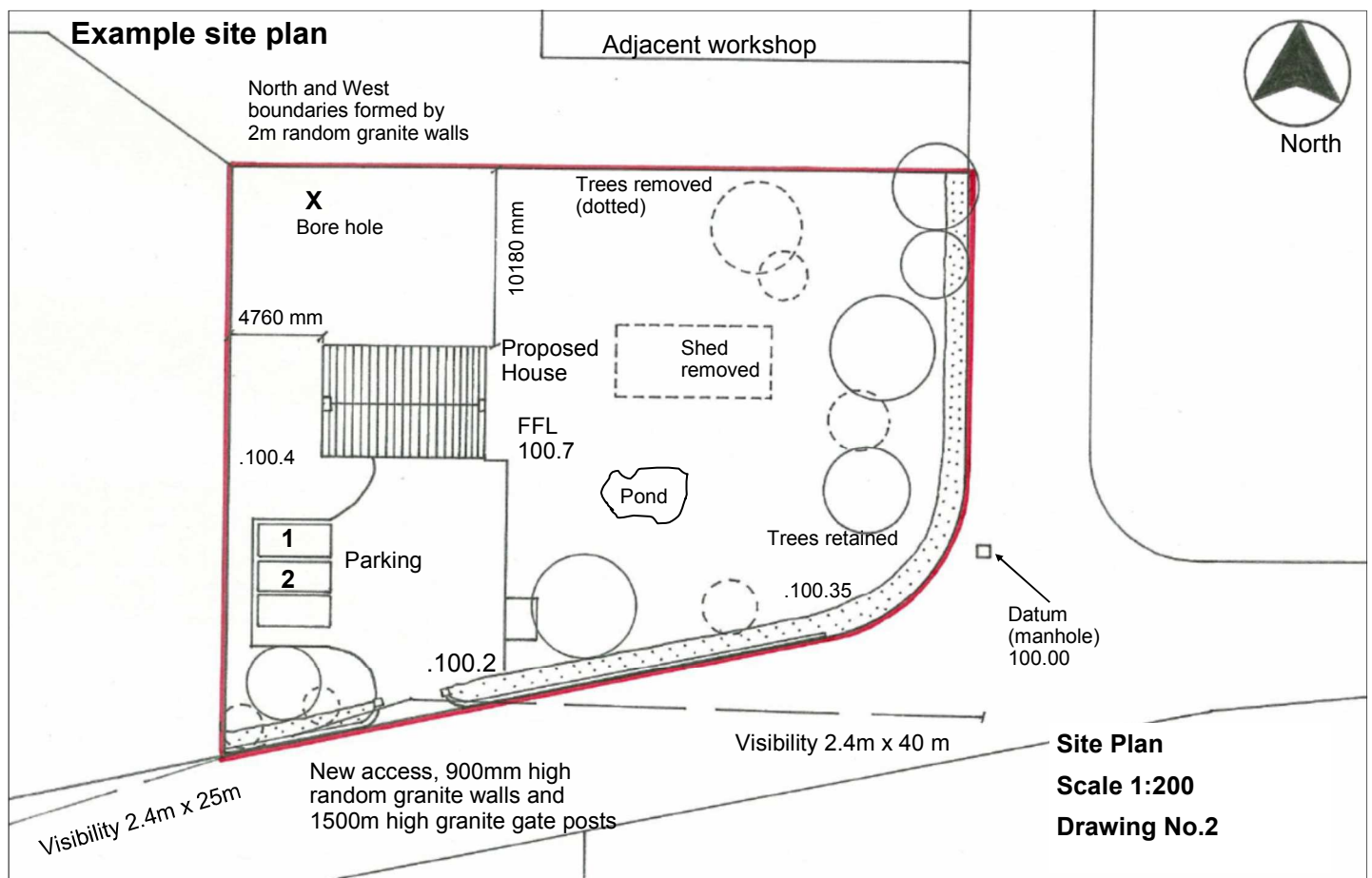
### Example location plan



## Site plan

A site plan shows the location of the proposed works in context of other features on the site and should include

- the whole of the site, including the boundaries, drawn to a scale of 1:100 or 1:200
- a directional arrow showing North
- dimensions to key points
- a scaling bar to at least 10 metres
- the position of any existing property and buildings on site as well as the location of the proposed work, clearly identified with annotations
- existing and proposed access points for vehicles and pedestrians including, if relevant, visibility splays and details of proposed vehicle and cycle parking and service areas, with the individual spaces and manoeuvring areas clearly marked
- landscaping and garden areas; this includes accurately showing all existing trees and hedges and clearly indicating if they are to be retained or removed. Boreholes, streams, ponds and watercourses should also be shown
- surfacing materials and means of enclosure (walls, hedges etc)
- all immediately adjacent sites and buildings to show the relationship with the application site to give contextual information
- spot height levels (existing and proposed), plus finished floor levels of proposed buildings



## Floor plans

We require both existing and proposed floor plans of the building or extension to be constructed or when a change of use is proposed.

These need to be accurately drawn, clear, and include all of the floors of the building relevant to the application. A survey of the existing property should be included, whether or not that building is to be demolished. Dotted lines on the proposed plans should be used to show the position of existing buildings or parts of buildings to be demolished, and colour or shading should be used to highlight new work.

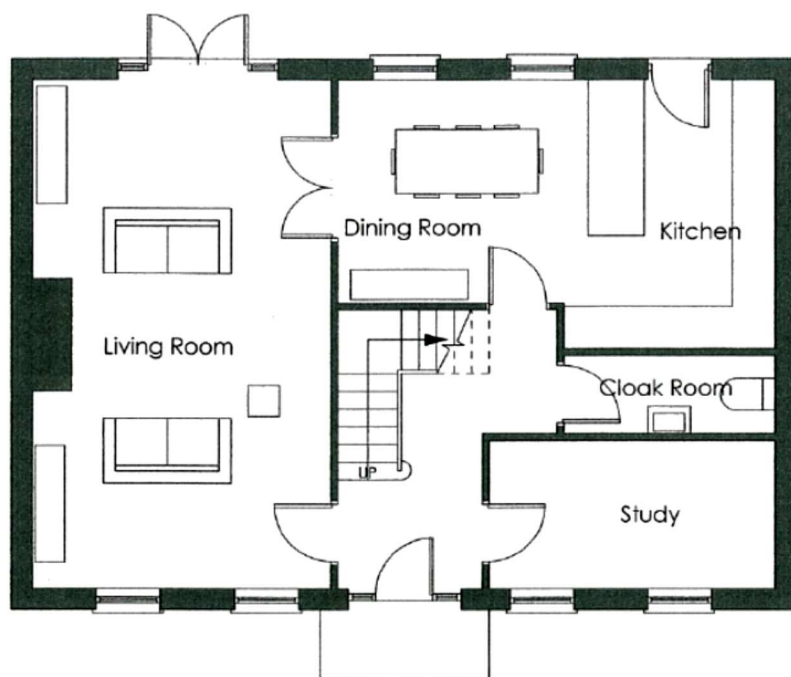
Floor plans must show

- a directional arrow showing North
- dimensions to key points, including internal and external measurements
- a scaling bar to at least 10 metres
- layout of rooms
- use of the rooms
- position of doors and windows
- thickness of walls

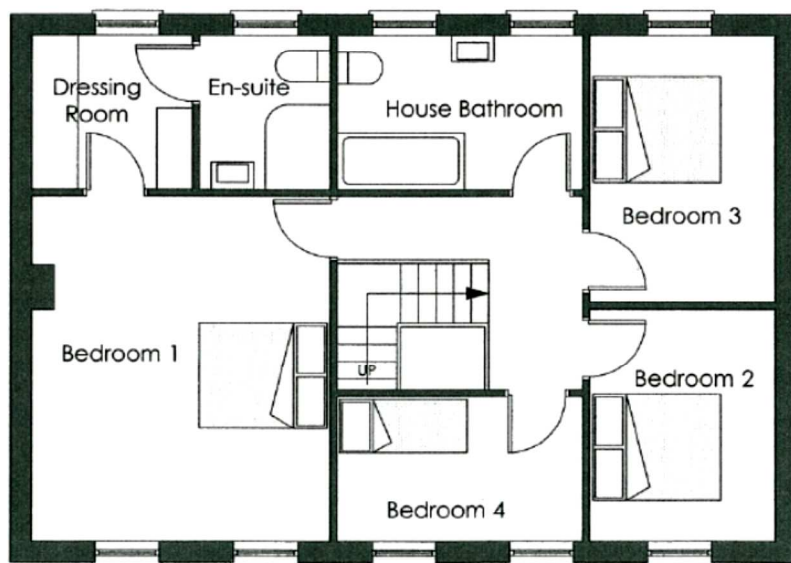
Floor plans should be drawn to a scale of either 1:50 or 1:100.

The applicant must ensure that these drawings are to scale and match those of any elevation drawings and the site plan.

## Example floor plans



Ground Floor Plan



First Floor Plan

<b>Address:</b>
<b>Floor Plans</b>
<b>Scale 1:100 or 1:50</b>
<b>Drawing No.3</b>

## Elevations and photographs

Photographs must be included with every application. They should be sufficiently wide angle to show the building or site in context.

Elevations show what the building will look like from the outside. All affected elevations must be included. They must be accurately drawn and clearly show

dimensions to key points, including external measurements

a scaling bar to at least 10 metres

design and method of opening of all windows and doors e.g. sash, casement, top-hung

all materials and colours

external features such as down pipes, flues and vents

Elevations of the existing building should be included where it is relevant, such as when a new building or raised roof is proposed, and elevations of neighbouring buildings should be included to show the building's relationship with adjacent buildings. Adjacent buildings must be surveyed and shown accurately.

Elevations may be drawn at a scale of either 1:50 or 1:100. These drawings should clearly indicate the layout of the main features and fenestration on all of the external facades of the building. Rainwater goods, quoins, chimneys and other features should also be shown.

However it's sometimes difficult to assess architectural detail at this scale. Hence, additional drawings at a scale of 1:20 are required for all new building projects. These should be of a typical part of the elevation (not the whole building) and should be accompanied by a cross section through the façade of the building at the same scale (1:20). They should indicate all projections, window reveals, fascias, verges, eaves, rainwater goods, chimney stacks, dormer windows and other similar details.

In exceptional cases, drawings may be required at an even larger scale in order to properly assess the design detail.

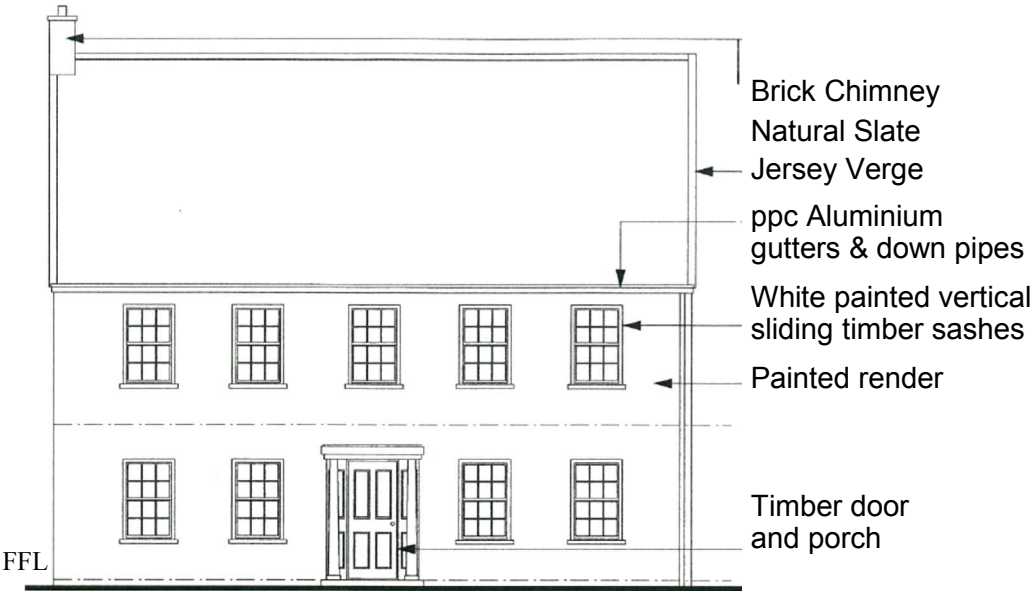
Where it is proposed to replace a building with a new one, the dimensions of the existing building must be indicated on the proposed plans and elevations. This may be indicated by way of a dotted line, but the dimensions must be sourced from an accurate survey. The survey must also pick up the eaves line on buildings which have a pitched roof.

In the case of major schemes, elevations of an entire street may be required so that the proposals can be viewed in context. Three dimensional perspectives and models are also likely to be required.

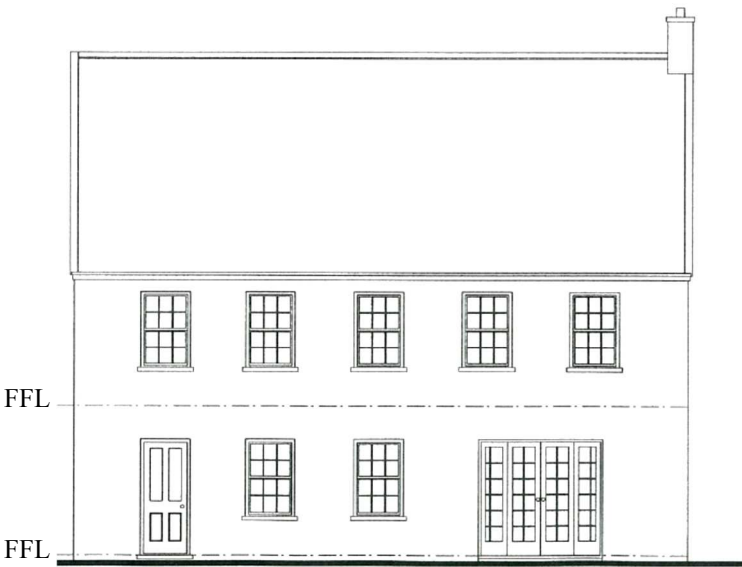
In the case of replacement windows and doors on listed buildings, elevations and cross sections should be shown at 1:10 and joinery details at 1:2.



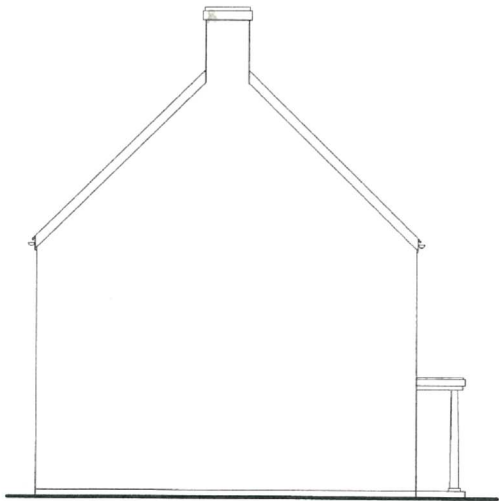
Example elevations



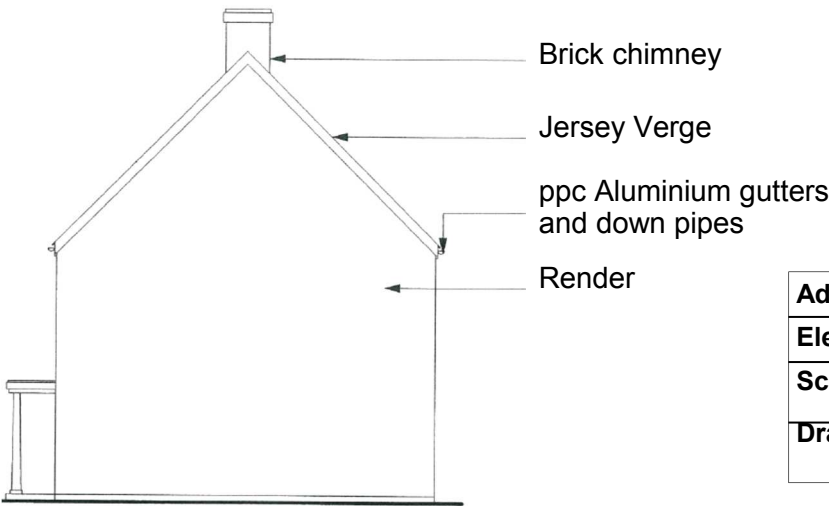
South Elevation



North Elevation



West Elevation



East Elevation

Address:
Elevations
Scale 1:100 or 1:50
Drawing No.4

## Levels

Very few sites are actually flat across their entire area. It is therefore important to illustrate the levels at which a structure is to be constructed. All too often buildings are simply shown to be on level land with a solid black line across the bottom of the building.

Adequate information must be included with existing and proposed site levels marked, together with site cross sections, to illustrate levels so the impact of a proposal is clear, particularly if excavation, infilling or other earthworks are involved. On larger or sloping sites, a full site survey will usually be required.

All levels should be linked to a consistent datum level which won't change during construction. Finished floor level and ground levels around any proposed building (existing and proposed) should be shown on the site plan.

## Cross Sections

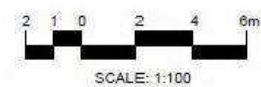
Cross sections show a slice through a building or land. Sections through a building are often necessary and should be included in a detailed application. These will show the height of windows, finished floor levels and ceiling heights. Where there are buildings or structures adjacent to the site, a cross section through these and the site will help us assess the impact of the proposals.

## Scales and Accuracy

It is imperative that all the information submitted is clear, accurate and consistent. The sample drawings in this note show the minimum quality of information that is required, but they've been reduced in size for printing purposes.

All drawings must be submitted at a recognised scale found on standard metric scale rules, such as 1:10, 1:20, 1:50, 1:100, 1:200, 1:250 and 1:500. The appropriate scale will depend upon the purpose of the drawing, as set out above. Applicants must ensure the scale quoted is correct.

A graphic scale bar of at least 10 metres must be on each drawing. Dimensions must be included in order to confirm the accuracy of the scale.





# Checklist

This checklist is to assist you in identifying all the relevant information that needs to be submitted with your application. Information required by the policies of the Revised Island Plan 2014 are indicated in brackets.

<b>A</b>	<b>Minimum information required</b>	<b>Yes</b>	<b>No</b>	<b>Office</b>
	Location plan			
	Existing site plan (including levels)			
	Proposed site plan (including levels)			
	Existing floor plans			
	Proposed floor plans			
	Existing elevations			
	Proposed elevations			
	Cross section drawings			
	Contextual drawings			
	Photographs			
	3D model or photomontages			
	Explanatory letter			
<b>B</b>	<b>Additional information</b>	<b>Yes</b>	<b>No</b>	<b>Office</b>
	Access Statement			
	Agricultural Statement [construction or loss of agricultural development]			
	Air Quality Assessment			
	Archaeological Statement			
	Biodiversity Impact Statement			
	Contaminated Land Survey			
	Crime Reduction Assessment			
	Daylight / Sunlight Assessment			
	Design Statement			
	Economic Statement—Reusing Employment Land			
	Environmental Impact Statement [Environmental Impact Order 2006]			
	Flood Risk Assessment			
	Foul Sewer Assessment			
	Landscaping Details			
	Listed Building Assessment			
	Needs and Sequential Test for Coastal & Countryside			
	Needs and Sequential Test for Office Developments			
	Noise Impact Assessment			
	Open Space Assessment			
	Previous Decision Notice [Revised Plans, Vary Condition & Reserved Matters]			
	Percentage for Art Statement			
	Retail Impact Assessment			
	Site Waste Management Plan			
	Structural Engineer's Report [for replacement buildings and conversions]			
	Telecommunications ICNIRP Certificate			
	Transport/ Traffic Assessment			
	Travel Plan			
	Trees and Hedgerows Survey / Arboriculture Implications			
	Ventilation / Extraction Statement			