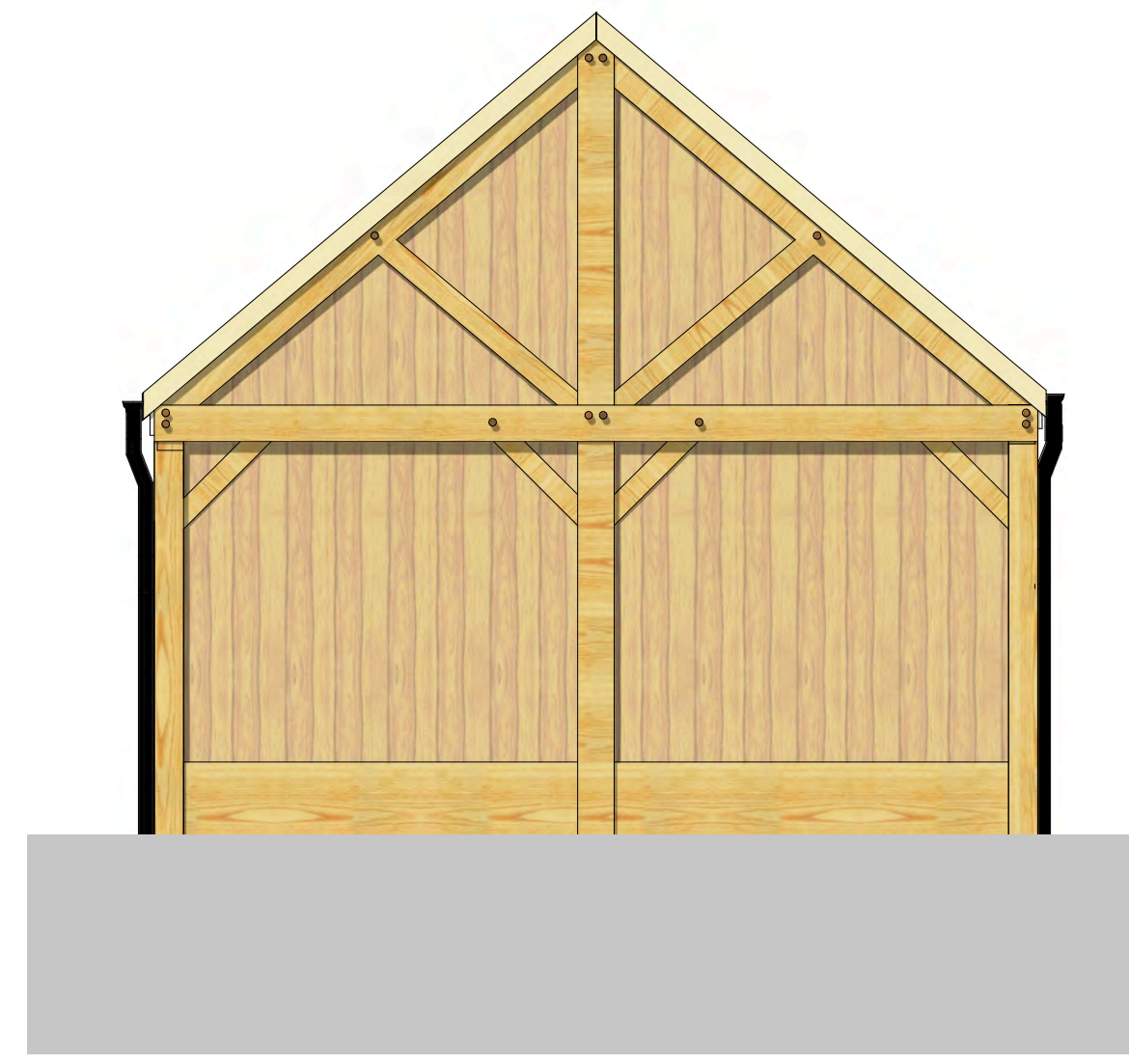


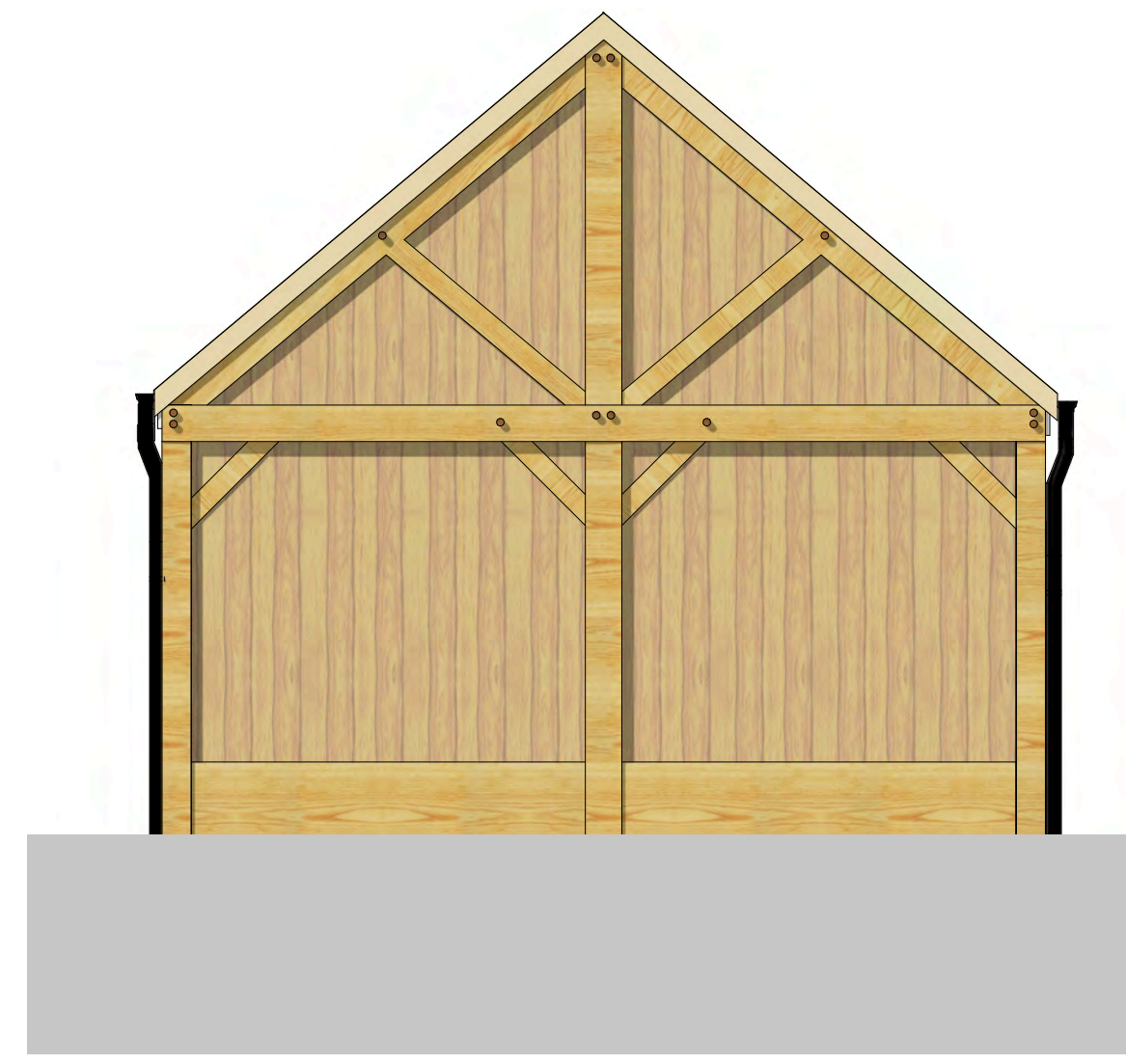
THIS DRAWING AND ALL DESIGN AND DETAILS ARE THE COPYRIGHT OF CHANNEL ARCHITECTS LTD.
 This drawing must be read in conjunction with all other drawings, details and specifications issued by the Architect, Structural Engineer and other Consultants or approved specialists. Discrepancies between any other drawings, details and specifications must be referred to the Architect for verification at least 7 days prior to commencement of the work. It is the Contractor's responsibility to ensure all work is carried out in accordance with all statutory requirements and to the approval of the Building Control Officer. All roof decking or external plywood to be W.B.P. bonded external grade. All materials to comply with the latest British Standards Specification or have an Agreement Certificate. The Contractor is responsible for all setting out of the works. Use written dimensions only, do not scale off drawings. All dimensions and setting out must be checked on site.
 If in any doubt refer to the Architect prior to commencement of the work.

REVISIONS

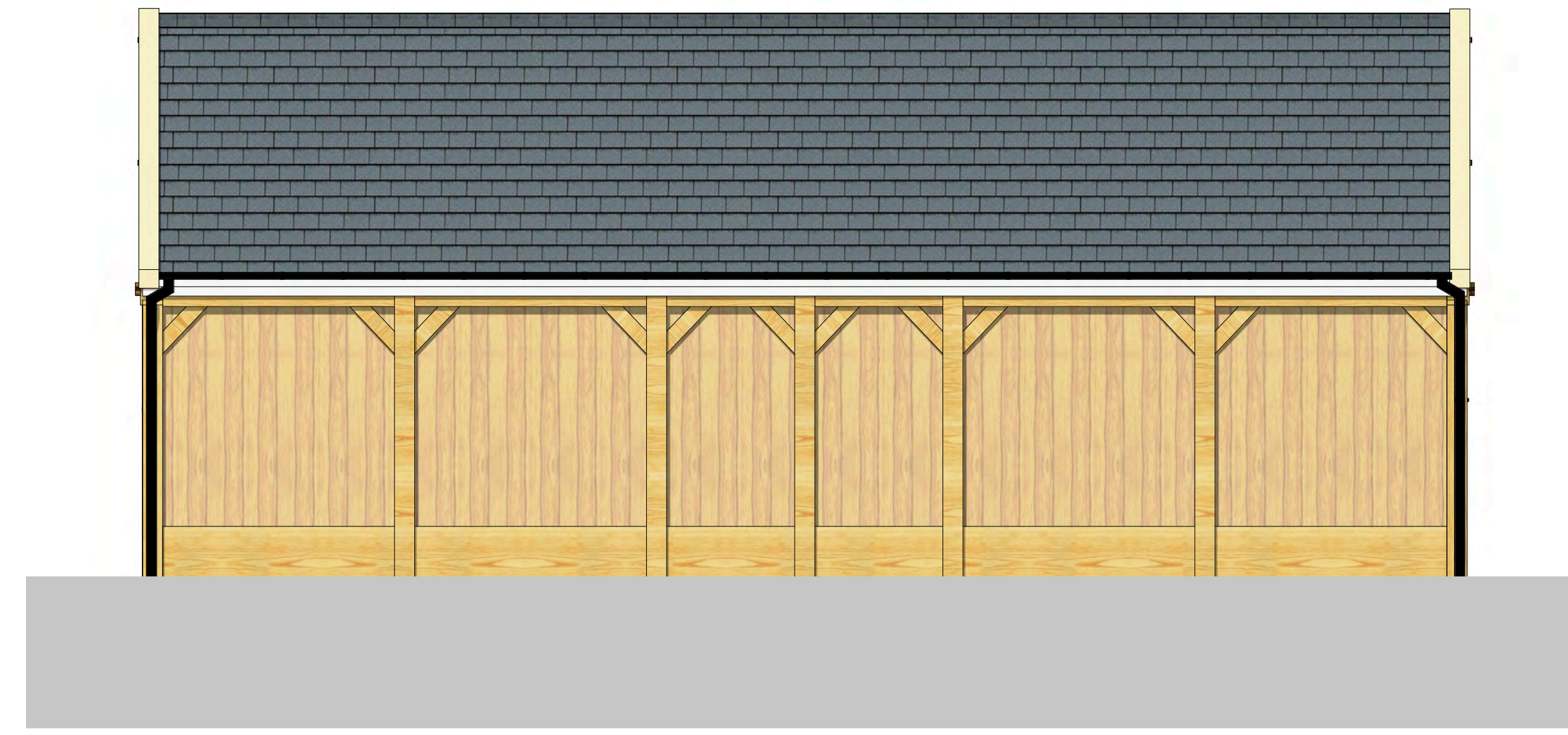
A	June 2010	Scheme revised as directed by Planning Department & to Planning requirements	SB
B	July 2010	Scheme revised as directed by Planning Department	PM
C	Sept 2010	Revisions to further Planning requirements: a) Change terracotta Jersey verges to Painted render Jersey verges	PM



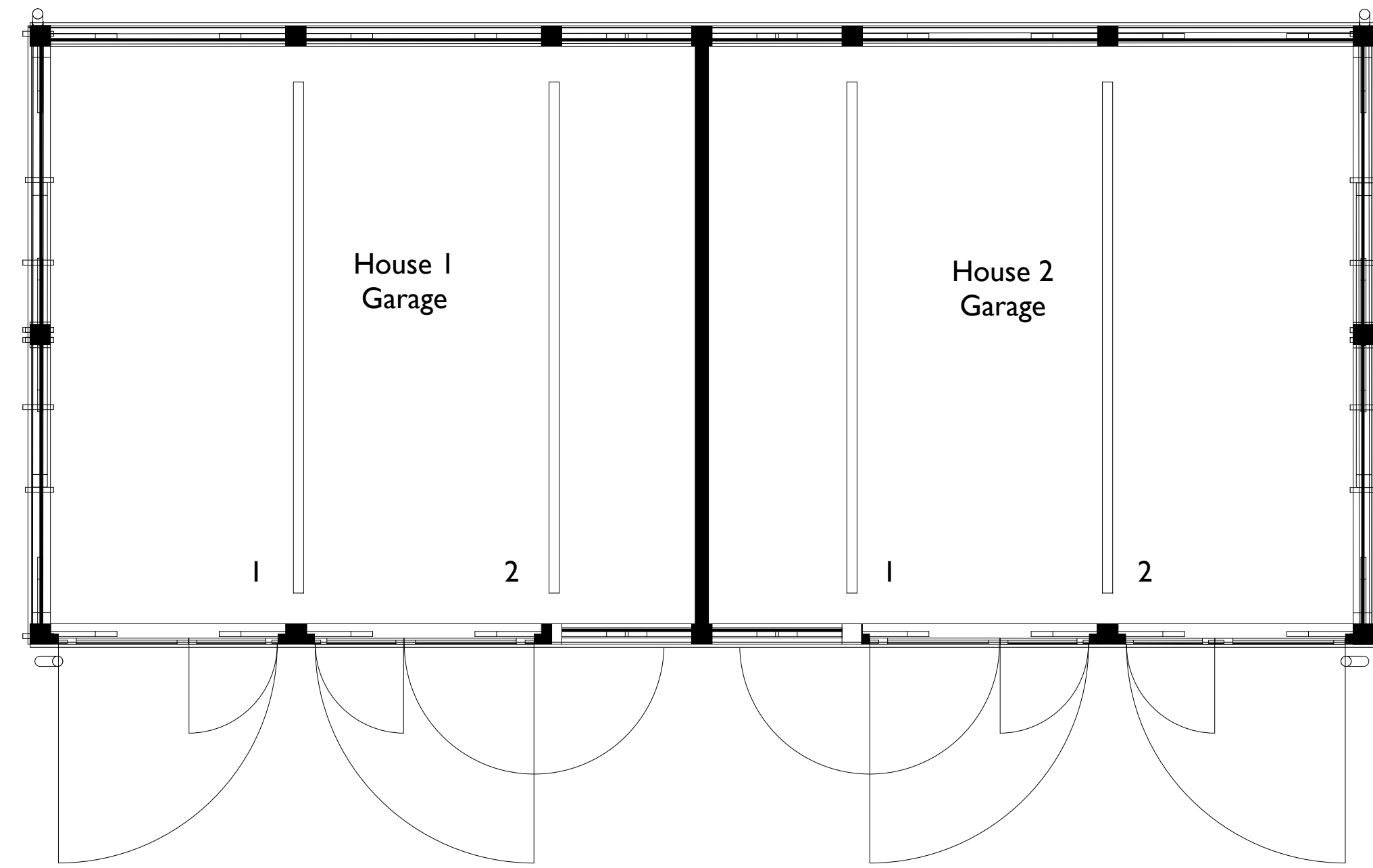
EAST ELEVATION
1:50



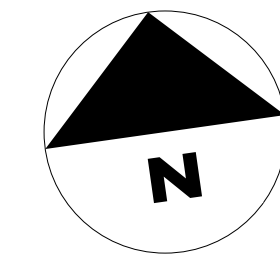
WEST ELEVATION
1:50



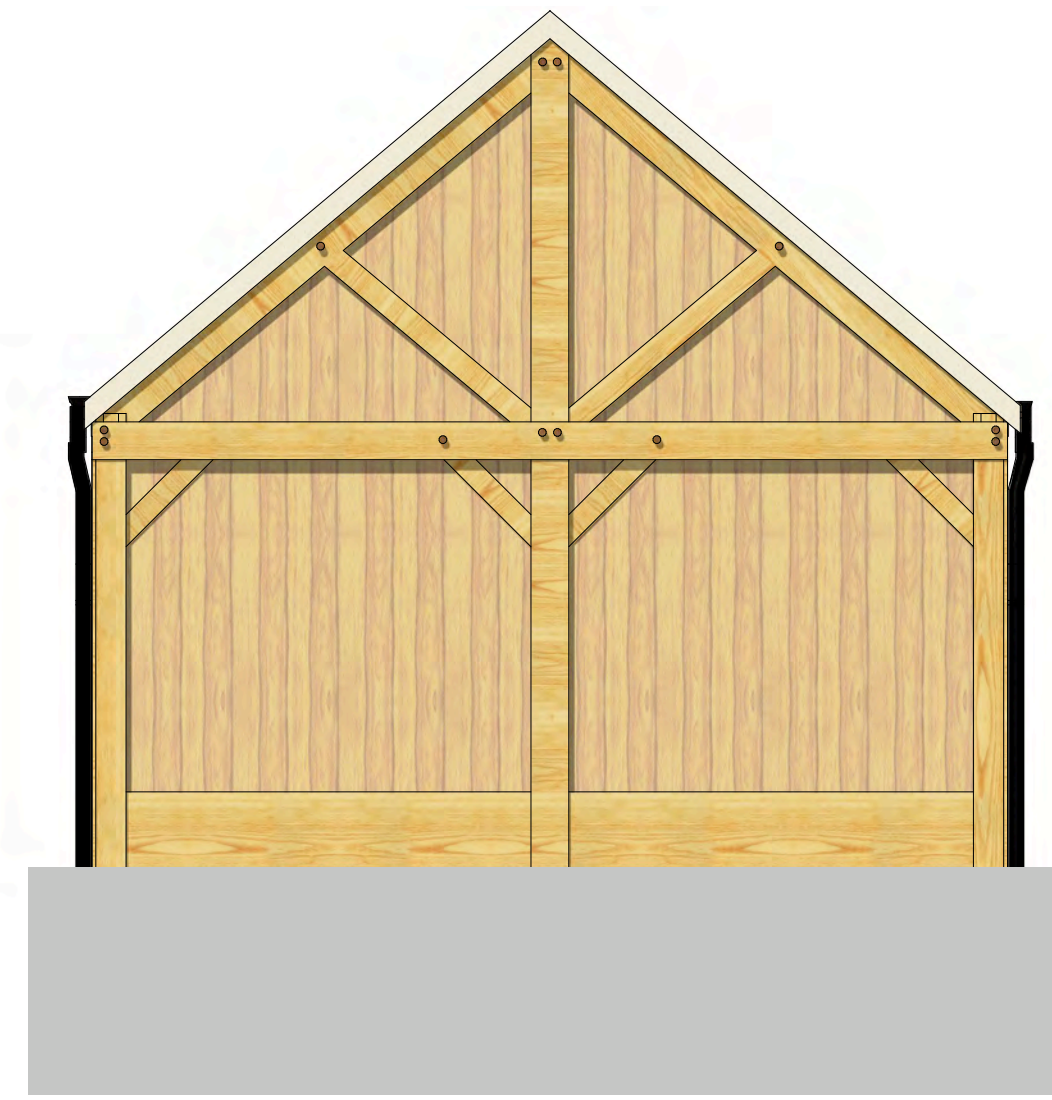
HOUSE 1 & 2 GARAGES NORTH (REAR) ELEVATION
1:50



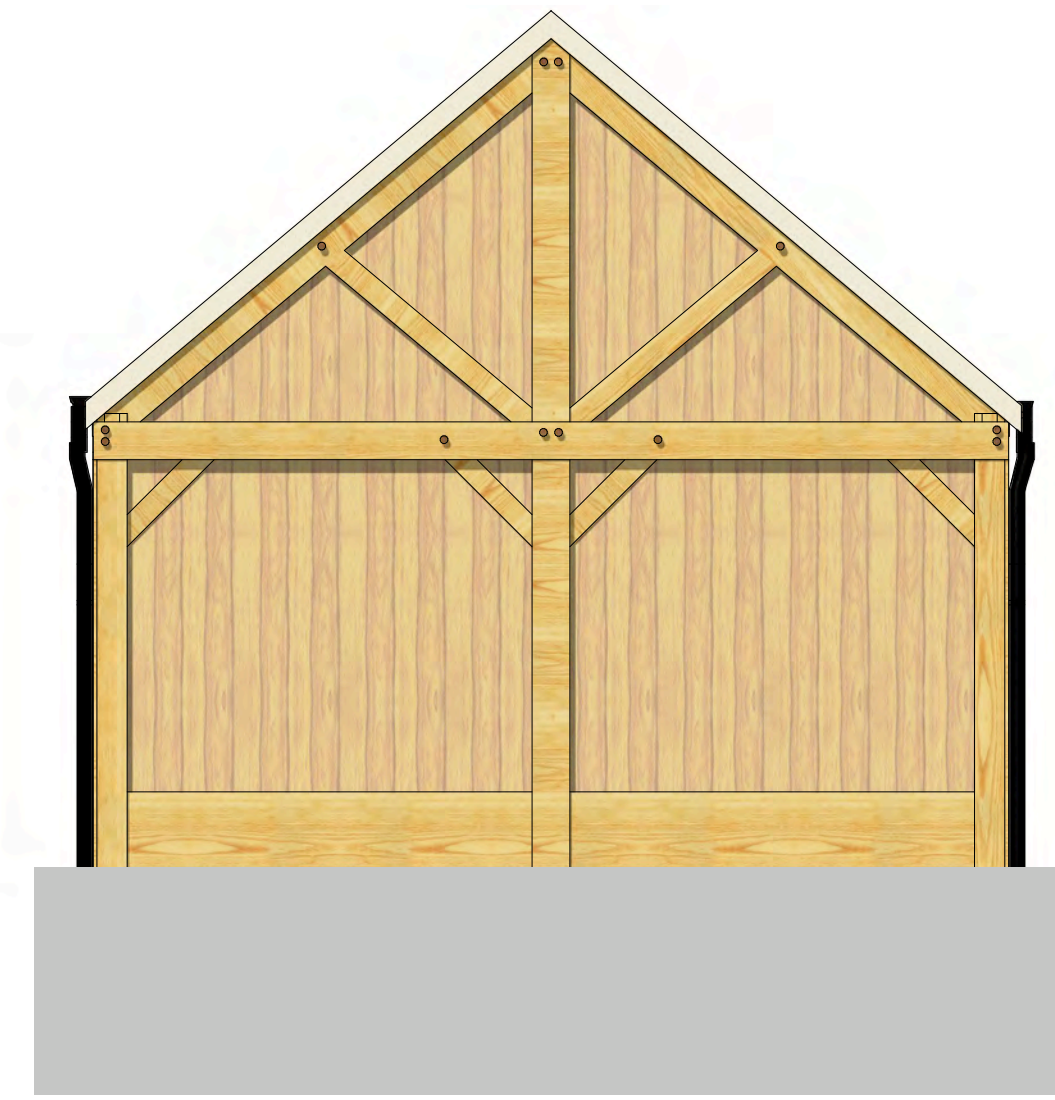
HOUSE 1 & 2 GARAGES GROUND FLOOR PLAN
1:50



HOUSE 1 & 2 GARAGES SOUTH (FRONT) ELEVATION
1:50



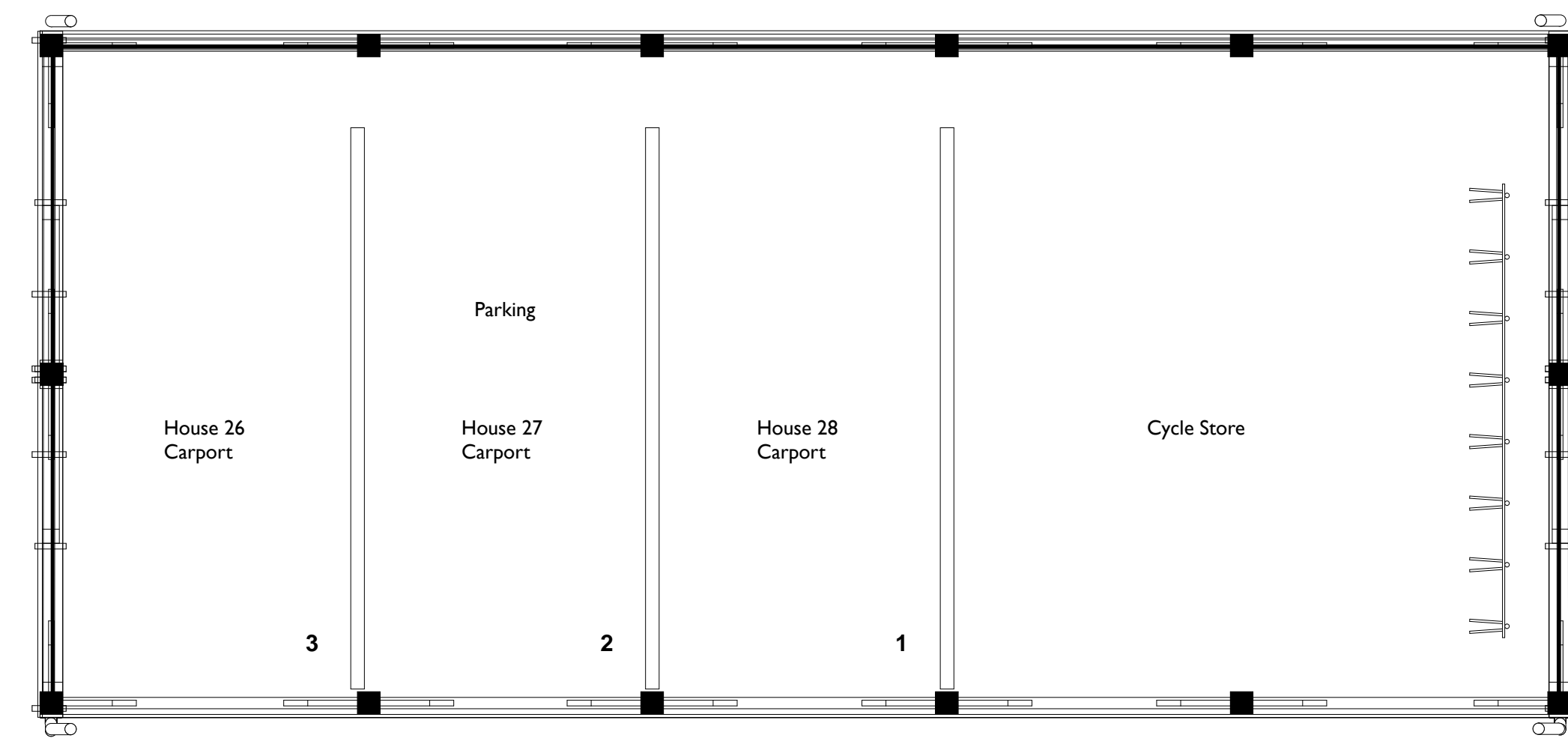
HOUSE 26,27,28 CARPORT NORTH EAST ELEVATION
1:50



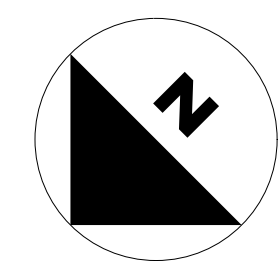
HOUSE 26,27,28 CARPORT NORTH EAST ELEVATION
1:50



HOUSE 26,27,28 CARPORT SOUTH EAST (REAR) ELEVATION
1:50



GROUND FLOOR PLAN
1:50



HOUSE 26,27,28 CARPORT NORTH WEST (FRONT) ELEVATION
1:50

MATERIAL	IMAGE
TRADITIONAL BLUE/GREY SLATE (ROOF)	
PAINTED RENDER (VERGES)	
TREATED TIMBER (CARPORTS)	
CAST IRON (GUTTERS & DOWNPIPES AND BALCONY BALUSTRADE)	

PLANNING APPLICATION

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PROJECT / LOCATION		DRAWING	
PLEMONT BAY HOLIDAY VILLAGE PLEMONT 28 HOUSE DEVELOPMENT		GARAGES AND CARPORTS PLANS & ELEVATIONS	
CLIENT	DRAWN	CHECKED	
PLEMONT ESTATES LTD	SB	PH	
DATE	SCALE	DRAWING NUMBER	
JUNE 2010	1:50 @A0	1871/O/01	
			C