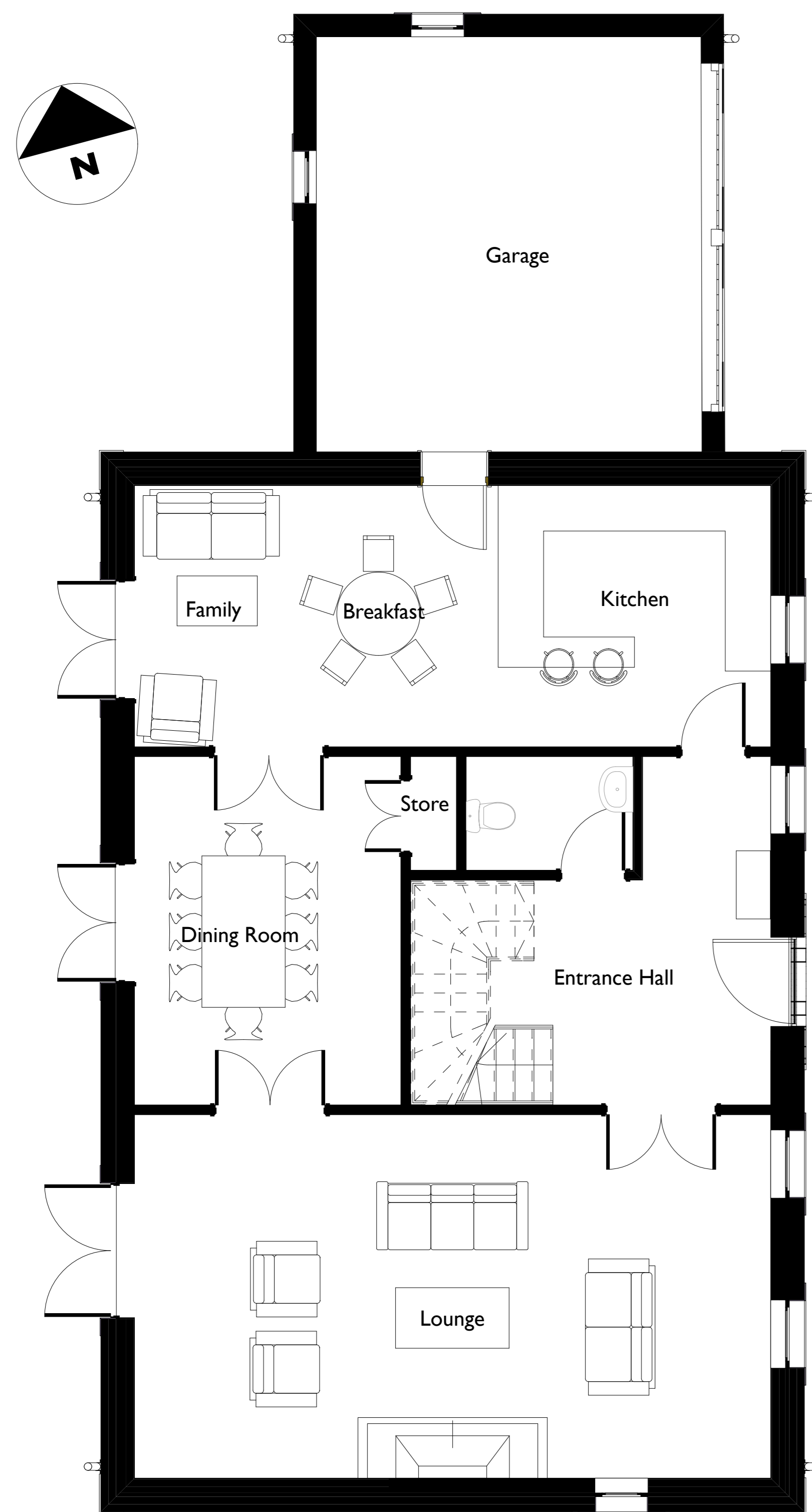


THIS DRAWING AND ALL DESIGN AND DETAILS ARE THE COPYRIGHT OF CHANNEL ARCHITECTS LTD.
 This drawing must be read in conjunction with all other drawings, details and specifications issued by the Architect, Structural Engineer and other Consultants or approved specialists. Discrepancies between any other drawings, details and/or specifications must be referred to the Architect for verification at least 7 days prior to commencement of the work. It is the Contractor's responsibility to ensure all work is carried out in accordance with all statutory requirements and to the approval of the Building Control Officer. All roof and structural timbers are to be vacuum preservative treated by approved methods before delivery to site. All roof decking or external plywood to be W.B.P. bonded external grade. All materials to comply with the latest British Standards Specification or have an Agrément Certificate. The Contractor is responsible for all setting out of the works. Use written dimensions only, do not scale off drawings. All dimensions and setting out must be checked on site.

REVISIONS

A	June 2010	Scheme revised to 28 houses as directed by Planning & to Planning Department requirements	EN/SP
B	July 2010	Scheme revised as directed by Planning Department	PM
C	Sept 2010	Revisions to further Planning requirements: a) Witches' stoops to chimneys removed b) Garage moved West by 450mm c) Rear (west) window reveal trimming changed to regular quoins as front elevation d) Small window added to garage at ground floor level e) Rear (West) first floor windows regularised to sit central over ground floor patio doors f) Garage pier on East (front) elevation brought round in render g) Garage doors refined with angled beams removed, door pair and hinges showing	PM

MATERIAL	IMAGE
TERRACOTTA JERSEY 'PANTILE' (ROOF)	
TRADITIONAL BLUE/GREY SLATE (ROOF)	
TRADITIONAL JERSEY GRANITE ASHLAR (EXTERIOR WALLS)	
CUT & DRESSED JERSEY GRANITE (QUOINS, CILLS & LINTELS AND VERGES)	
GLAZING	N/A
CAST IRON (GUTTERS & DOWNPIPES AND BALCONY BALUSTRADE)	
PAINTED PRESERVATIVE TREATED SOFT WOOD - WHITE (FASCIAS & WINDOWS)	
PAINTED PRESERVATIVE TREATED SOFT WOOD - 'DARK OLIVE' (DOORS)	
TREATED TIMBER (GARAGE DOORS & FACADE)	



GROUND FLOOR PLAN
1:50



NORTH ELEVATION
1:50



EAST (FRONT) ELEVATION
1:50

PLANNING APPLICATION

B D K Architects
 White Lodge,
 Wellington Road,
 St. Saviour,
 JERSEY
 Channel Islands
 JE2 7TE

Tel: +44 1534 768740
 Fax: +44 1534 739115
 E: Enquiry@BDKArchitects.com

PROJECT / LOCATION		DRAWING	
PLEMONT BAY PLEMONT 28 HOUSES DEVELOPMENT		HOUSE 12 GROUND FLOOR PLAN	
CLIENT	DRAWN	CHECKED	
PLEMONT ESTATES LTD	EN	PH	
DATE	SCALE	DRAWING NUMBER	
JUNE 2010	1:50 @ A0	1871/F/01	
			C