

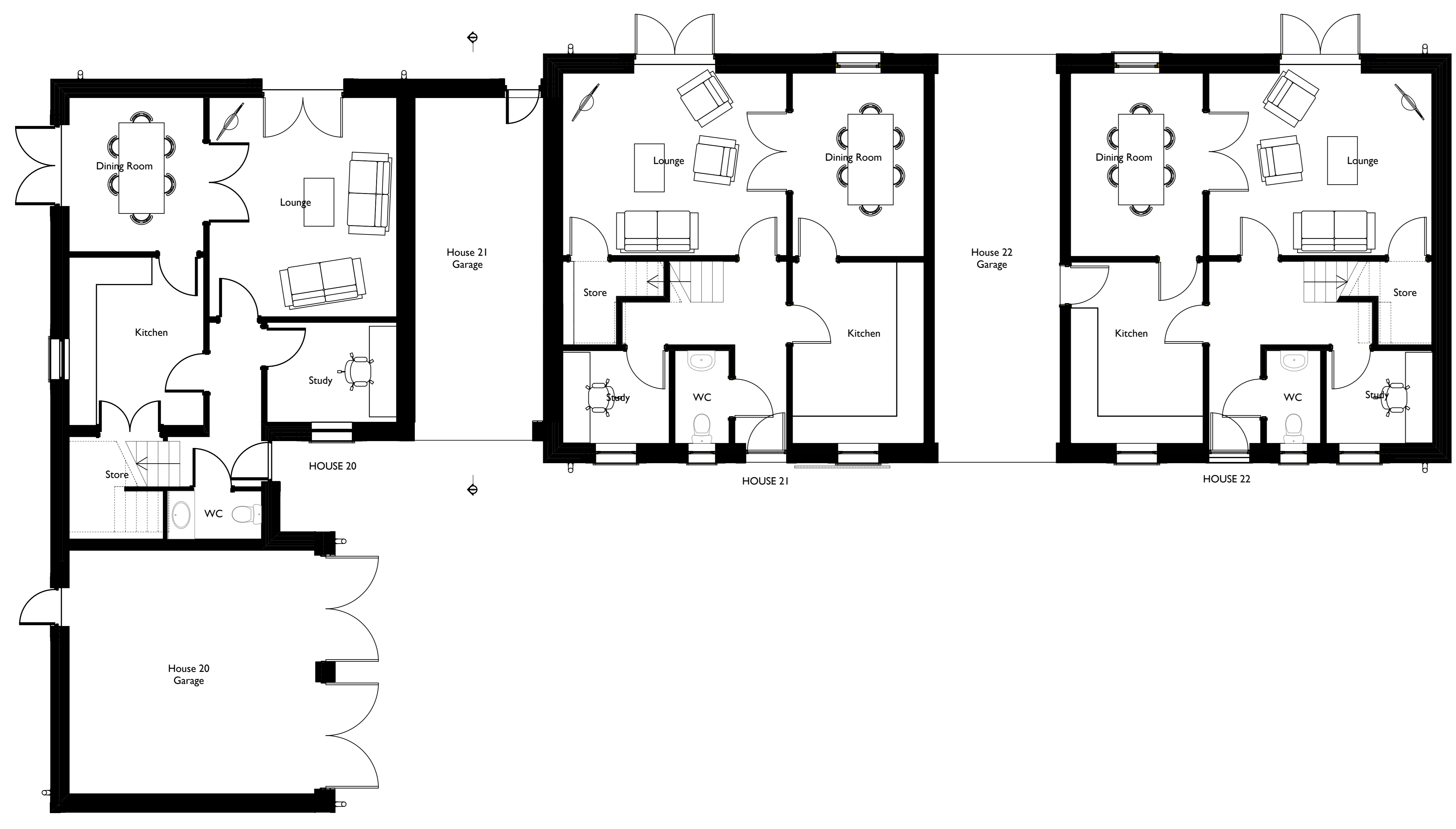
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 This drawing must be read in conjunction with all other drawings, details and specifications issued by the Architect, Structural Engineer and other Consultants or approved specialists. Discrepancies between any other drawings, details and/or specifications must be referred to the Architect for verification at least 7 days prior to commencement of the work. It is the Contractor's responsibility to ensure all work is carried out in accordance with all statutory requirements and to the approval of the Building Control Officer. All roof and structural timbers are to be vacuum preservative treated by approved methods before delivery to site. All roof decking or external plywood to be W.B.P. bonded external grade. All materials to comply with the latest British Standards Specification or have an Agrément Certificate. The Contractor is responsible for all setting out of the works. Use written dimensions only, do not scale off drawings. All dimensions and setting out must be checked on site. If in any doubt refer to the Architect prior to commencement of the work.

REVISIONS

A	June 2010	Scheme revised as directed by Planning Department & to Planning requirements	SB
B	July 2010	House elevations revised to Planning requirements	SB
C	Sept 2010	Revisions to further Planning requirements: (A) H.21 & H.22 NE Elevation fenestration made more random by altering 1st floor windows, changing H.21 bedroom window to converted loading bay type and reducing size ground floor windows. (B) H.20 SE Elevation fenestration made more random by altering size /locations of windows, dining room doors glazing bars shown. (C) H.20 Roof lights size reduced (D) H.20 SW elevation RHS bedroom window enlarged to compensate for smaller window in SE Elevation. (E) H.21 bedroom above garage noted as timber clad wall behind garage arch and bedroom window shown on plan. (F) H.21 & H.22 lounge patio door sidelights removed.	PAP



NORTH EAST (FRONT) ELEVATION
1:50



GROUND FLOOR PLAN
1:50

MATERIAL	IMAGE
TRADITIONAL BLUE/GREY SLATE (ROOF & RIDGE TILES)	
TERRACOTTA JERSEY 'PANTILE' (ROOF)	
RANDOM LAID, TRADITIONAL JERSEY GRANITE (EXTERIOR WALLS)	
PAINTED MORTAR - 'HONEY BEIGE' (JERSEY VERGES)	
GLAZING	N/A
CUT & DRESSED JERSEY GRANITE (QUOINS, CILLS & LINTELS)	
RED BRICKWORK (QUOINS, OPENING DRESSINGS)	
CAST IRON (GUTTERS, DOWNPIPES & BALCONIES)	
PAINTED PRESERVATIVE TREATED SOFT WOOD - WHITE (FASCIAS & WINDOWS)	
PAINTED PRESERVATIVE TREATED SOFT WOOD - 'FATHOM BLUE' (GARAGE DOORS)	
PAINTED PRESERVATIVE TREATED SOFT WOOD - 'DARK OLIVE' (ENTRANCE DOORS)	
PAINTED STONE (CILLS)	

PLANNING APPLICATION

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PROJECT / LOCATION	DRAWING		
PLEMONT BAY HOLIDAY VILLAGE PLEMONT 28 HOUSES DEVELOPMENT	HOUSES 20, 21 & 22 GROUND FLOOR PLAN		
CLIENT	DRAWN	CHECKED	
PLEMONT ESTATES LTD	PAP	PH	
DATE	SCALE	DRAWING NUMBER	
JUNE 2010	1:50 @ A0	1871/L/01	C