

Environment Department
Planning and Building Services
South Hill
St Helier, JE2 4US.



BUILDING BYE-LAWS (JERSEY) 2007

**Proposals for amending the Approved Technical Guidance
published in support of the Building Bye-law requirements relating
to Access and Use of Buildings.**

Consultation

October 2011

CHAPTER 1:

Introduction.

1. Part 8 of the Building Bye-laws and the supporting Approved Technical Guidance Document, provides a regulatory framework and guidance on the design of buildings with respect to the needs of disabled people. The current approved technical guidance (TGD 8) dates from 2007.
2. In line with regular appraisals of the Approved Technical Guidance Documents, and specifically to take account of the States decision in December 2009 to adopt a proposition brought by Deputy Andrew Green calling for provision for 'Changing Places' facilities in large public buildings, the TGD 8 has been reviewed with the aim of providing further guidance on meeting the bye-law requirements relating to access and use of buildings.
3. Also, the review has taken account of feedback received since the introduction of the TGD 8 in 2007 and proposals for amending the guidance given in respect of the future adaptation of dwellings have been included.

Main issues covered in the review and consultation.

4. Provision of 'changing places' sanitary accommodation.
5. Access and use of newly constructed dwellings and provisions for future adaptability.

Format of proposed changes.

6. The proposed amendments to the TGD 8 are set out in Chapter 2. As the changes proposed to the current TGD 8 are relatively small in number, for the purposes of this consultation we have shown proposed new text in blue and deleted text is shown as struck through.

How to respond.

7. Questions on which we seek input are listed in the Response form in Annex 1. Responses must be received by 12 December 2011.
8. When responding, please state whether you are acting as an individual or representing the views of an organisation. If responding on behalf of an organisation, please make it clear who the organisation represents and, where applicable, how the views of the members were assembled.

We will aim to publish a summary of responses within three months of the close of this consultation at www.gov.je. Paper copies will be available on request.

CHAPTER 2:

TECHNICAL GUIDANCE DOCUMENT 8. (TGD 8)

ACCESS TO AND USE OF BUILDINGS.

PROPOSED REVISIONS

SECTION 5 : SANITARY ACCOMMODATION IN BUILDING OTHER THAN DWELLINGS.

Changing Places sanitary accommodation.

Design considerations.

5.22 A Changing Places (CP) facility is a combined toilet, shower and changing room for use by people with complex and multiple disabilities who require the help of up to two assistants. The space needs to be fitted with a fixed tracked hoist system so that assistants can fit the user's slings to the hoist and move the person to the various items in the facility.

Any larger building where the public have access in numbers or where visitors might be expected to spend longer periods of time is a suitable venue for a CP facility. Such facilities are particularly important in buildings that might offer the only suitable sanitary accommodation within a locality, or in buildings where public services are provided.

CP facilities require extended space to accommodate disabled people, often with large complex wheelchairs with elevated leg rests, a reclining facility or integral oxygen cylinders, and space to fit slings for use with the hoist. It also needs to be possible for a wheelchair to be parked within the facility when not in use without compromising the safe access and use of the equipment.

As CP facilities are not designed for the use of independent wheelchair users, or to be used as baby changing facilities, they should be provided in addition to other Wheelchair-accessible unisex toilets, in large buildings and complexes, such as:

- a) transport buildings, e.g. harbours, airport and bus stations;
- b) sport and leisure facilities, including large hotels;
- c) cultural centres, such as museums, concert halls and art galleries;
- d) stadia and large auditoria;
- e) shopping centres;
- f) key buildings within the town centre,
- g) educational establishments; main public libraries;
- h) health facilities, such as hospitals, health centres and community practices.

Provisions

5.23 A CP facility will satisfy requirements 8.1 or 8.3 if:

- a) a CP facility is provided in any newly constructed or extended public building, which at completion of the work has a ground floor area of 700 sq.m or more and all newly constructed public toilet buildings;
- b) the CP facility is in addition to, not in place of, the provision of unisex accessible WCs;
- c) the CP facility is at least 3m wide and 4m long, with a ceiling height of 2.4m;
- d) doors are outward opening and are fitted with a horizontal closing bar fixed to the inside face;
- e) the CP facility has full room cover overhead tracked hoist system (either ceiling- or wall-mounted) conforming to BS EN 10535. The room structure and the track is capable of supporting a safe working load of 200 kg, with all ceiling fittings and fixtures being flush, recessed or shallow fittings to allow free movement of the moving rail of the tracked hoist, and the manufacturers' operating instructions are permanently displayed;
- f) the room is provided with a height adjustable changing bench, capable of operating at a safe working load of 200 kg, which has a covering suitable for use when a person is showering as well as changing;
- g) the room is provided with adequate lighting and space heating;
- h) the CP facility contains, as a minimum, the fittings and accessories indicated shown in Diagram 20A.

SECTION 6 : MEANS OF ACCESS TO AND INTO THE DWELLING.

Approach to the dwelling

Provisions.

6.14 If the **existing** topography is such that the route from the point of access towards the entrance has a plot gradient exceeding 1 in 20 but not exceeding 1 in 15, **and no changes to site levels are proposed as part of the works**, Requirement 8.1 will be satisfied if a ramped approach is provided.

Access into the dwelling

Design considerations

6.19. Where the approach to the entrance consists of a level or ramped approach (see paragraphs 6.13 - 6.15), an accessible threshold should be provided at the entrance, and at a rear door which leads to ~~a garden~~ **an outside amenity space**. An accessible threshold into entrance level flats should also be provided.

Provisions

6.21. If the approach to the dwelling or block of flats consists of a level or ramped approach, Requirement 8.1 will be satisfied if an accessible threshold is provided into the entrance, and to at least one rear door which ~~leads to a garden~~ **provides access to an outside amenity space**. The design of an accessible threshold should also satisfy the requirements of Part 4: 'Preparation of sites and resistance to moisture. Note: General guidance on design considerations for accessible thresholds has been published separately by The Stationery Office as 'Accessible thresholds in new housing: guidance for house builders and designers'.

SECTION 8 : SOCKET OUTLETS IN THE DWELLING.

Design considerations

8.2. Switches, ~~and~~ socket outlets for lighting, **meters, consumer units** and other equipment should be located so that they are easily reachable.

Provisions

8.3 A way of satisfying Requirement 8.1 would be to provide switches and socket outlets for lighting and other equipment in ~~habitable rooms~~ **the building** at appropriate heights between 450mm and 1200mm from finished floor level (see Diagram 29). **Controls that need close vision such as Thermostats should be sited at the top end of the range.**

SECTION 9 : PASSENGER LIFTS AND COMMON STAIRS IN BLOCKS OF FLATS.

Design considerations

9.3 If there is no passenger lift providing access between storeys, a stair should be designed to suit the needs of ambulant disabled people. ~~In any event,~~ A stair in a common area should **also** be designed to be suitable for people with impaired sight.

9.5. **g.** a clear width of 1000mm

SECTION 10 : WC PROVISION IN THE ENTRANCE STOREY OF THE DWELLING.

Hatching in diagrams to be extended to clarify 700mm space between wall and WC should be clear of obstruction.

SECTION 11: INTERNAL LAYOUT AND PROVISION FOR FUTURE ADAPTABILITY OF THE DWELLING.

Provisions.

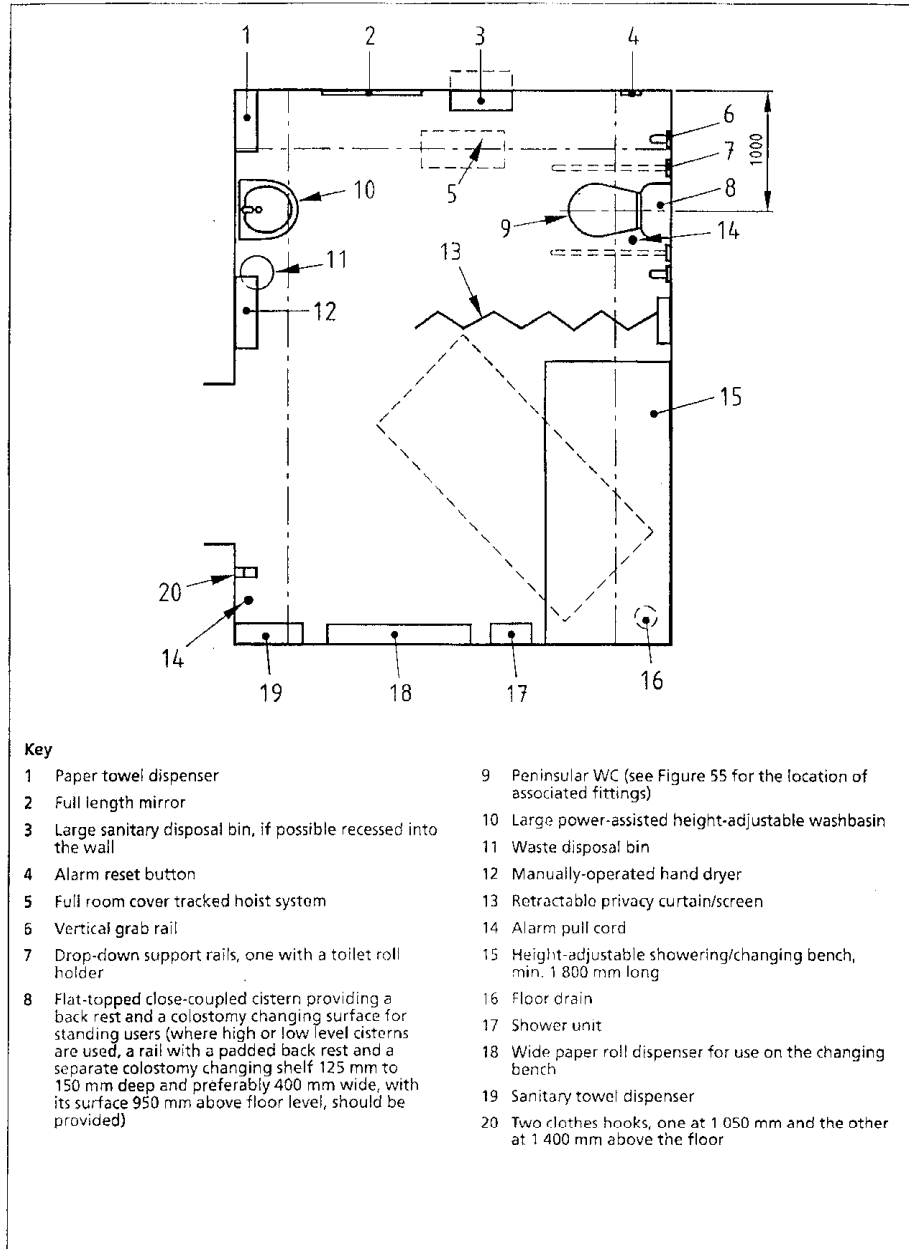
11.3. Requirement 8.1 or 8.5 will be satisfied if;

- a. space for turning a wheelchair in dining areas and living rooms and kitchens is provided equal to a turning circle of 1500mm diameter or a 1700mm x 1400mm ellipse.
- b. at least one window in the principle living room should have glazing which begins at 800mm or less above finished floor level;
- c. at least one window in each room which has a window provided for ventilation purposes has window controls located between 800 and 1000mm above the floor that are easy to operate without using both hands simultaneously;
- d. at least one bathroom or shower room has a floor area measuring between the finished surface of the walls of at least 2.0m x 2.2m to incorporate ease of access to a bath or shower, WC and wash basin. bathrooms provide sufficient space to enable a wheelchair user to gain access to the bath and WC. An example of a wheelchair “accessible” bathroom layout is shown in Diagram 33.
- e. a stair serving the upper floors in the dwelling has a clear flight width of at least 900mm, or a suitable space is identified between a room on the ground floor and a room on the first floor, which is not a kitchen, and the floor joists trimmed to a clear opening size of 1450mm x 950mm in preparation for the future addition of a through-the-floor lift.
- f. walls enclosing a stair serving the upper floors are capable of taking adaptations such as providing a continuous handrail on each side of the stair ;
- g. walls in bathrooms and WCs are capable of taking adaptations such as handrails being fixed at a height between 300mm and 1500mm from the floor;
- h. a suitable space is identified within the general circulation area and the floor joists trimmed in preparation for the future addition of a through the floor lift from entrance level to a floor containing a bedroom;

i. the design provides a reasonably direct route for track and hoist access from a bedroom to a bathroom.

DIAGRAM 20 A

Example of fittings and accessories in a Changing Places facility



Key

- | | |
|---|---|
| 1 Paper towel dispenser | 9 Peninsular WC (see Figure 55 for the location of associated fittings) |
| 2 Full length mirror | 10 Large power-assisted height-adjustable washbasin |
| 3 Large sanitary disposal bin, if possible recessed into the wall | 11 Waste disposal bin |
| 4 Alarm reset button | 12 Manually-operated hand dryer |
| 5 Full room cover tracked hoist system | 13 Retractable privacy curtain/screen |
| 6 Vertical grab rail | 14 Alarm pull cord |
| 7 Drop-down support rails, one with a toilet roll holder | 15 Height-adjustable showering/changing bench, min. 1 800 mm long |
| 8 Flat-topped close-coupled cistern providing a back rest and a colostomy changing surface for standing users (where high or low level cisterns are used, a rail with a padded back rest and a separate colostomy changing shelf 125 mm to 150 mm deep and preferably 400 mm wide, with its surface 950 mm above floor level, should be provided) | 16 Floor drain |
| | 17 Shower unit |
| | 18 Wide paper roll dispenser for use on the changing bench |
| | 19 Sanitary towel dispenser |
| | 20 Two clothes hooks, one at 1 050 mm and the other at 1 400 mm above the floor |

Response Form

The purpose of this form is to help consultees marshal their thoughts and to facilitate collation and analysis of the responses received.

In answer to each question consultees can choose to tick boxes and/or to provide suggestions and observations in more detail. In particular, if you disagree with any proposal, please add comments and provide practical alternatives. It is not essential to form a view against every question – respond only where you wish.

The list of questions is not exhaustive, and there is no intention to discourage consultees from expressing alternative views. The last question is completely open to enable consultees to make suggestions or observations that do not fit into the preceding format.

Proposals for amending
the technical guidance
published in support of
Part 8 of the building bye-
laws:

Consultation

Respondent Details:			
Name:	Please return by: 12 December 2011 Responses should preferably be submitted by email to: buildingcontrol@gov.je Alternatively, hard copy responses should be sent to: Director - Building Control Department of the Environment South Hill St Helier JE2 4US		
Organisation:			
Address:			
Telephone:			
Fax:			
e-mail:			
<table border="1"><tr><td>Are you responding as an individual? Or are you representing the views of an organisation?</td><td></td></tr></table>		Are you responding as an individual? Or are you representing the views of an organisation?	
Are you responding as an individual? Or are you representing the views of an organisation?			
If you are responding on behalf of an organisation, please say who the organisation represents and, if applicable, how the views of members have been assembled.			
<table border="1"><tr><td></td></tr></table>			

Is your response confidential? If so please explain why.

Yes	<input type="checkbox"/>	No	<input type="checkbox"/>
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Comments:

Provision is made throughout this questionnaire for you to make additional comments. If, however, you wish to provide more detailed comments on any aspect of the consultation then please feel free to append additional materials and supplementary documents, clearly marked and cross referenced to the relevant questions, as necessary.

Organisation Type (tick one box only)

House or property developer	<input type="checkbox"/>	Professional body or institution	<input type="checkbox"/>
Commercial developer	<input type="checkbox"/>	Trade body or association	<input type="checkbox"/>
Housing association	<input type="checkbox"/>	Builder – Specialist sub-contractor	<input type="checkbox"/>
Builder	<input type="checkbox"/>	Specific interest or lobby group	<input type="checkbox"/>
Architect	<input type="checkbox"/>	Civil/structural engineer	<input type="checkbox"/>
Householder	<input type="checkbox"/>	Builder	<input type="checkbox"/>
Individual in practice, trade or profession	<input type="checkbox"/>	Other (please specify):	<input type="checkbox"/>

Changing places sanitary accommodation.

1. Do you think that the proposals in respect of this facility are reasonable?

Yes No Don't Know

Comments

Section 6. Means of access to and into the dwelling.

2. Do you think that the proposals in respect of Section 6 are reasonable?

Yes No Don't Know

Comments

Section 8. Socket outlets.

3. Do you think that the proposals in respect of Section 8 are reasonable?

Yes No Don't Know

Comments

SECTION 9 : Passenger Lifts and common stairs in blocks of flats.

4. Do you think that the proposals in respect of Section 9 are reasonable?

Yes No Don't Know

Comments

SECTION 10: WC provision in Dwellings.

5. Do you think that the proposals in respect of Section 10 are reasonable?

Yes No Don't Know

Comments

SECTION 11: Internal layout and adaptability.

6. Do you think that the proposals in respect of Section 11 are reasonable?

Yes No Don't Know

Comments

GENERAL SUGGESTIONS AND OBSERVATIONS.

7. Please enter below any additional suggestions or observations that you would like to make on the proposals.

Comments

